

# J.R. Holzmacher P.E., LLC

3555 Veterans Memorial Highway, Suite A, Ronkonkoma, New York 11779  
Tel: (631) 234-2220 Fax: (631) 234-2221 e-mail: info@holzmacher.com

October 14, 2014

New York City Office of Environmental Remediation  
City Voluntary Cleanup Program  
c/o Shaminder Chawla  
100 Gold Street, 2<sup>nd</sup> Floor  
New York, NY 10038

**Re:** VCP # 15CVCP022Q  
E-Designation # 14EH-N158Q  
140-35 Queens Boulevard  
Remedial Action Work Plan (RAWP) Stipulation List

Dear Mr. Chawla:

J.R. Holzmacher P.E., LLC hereby submits a Remedial Action Work Plan (RAWP) Stipulation List for the Site to the New York City Office of Environmental Remediation (OER) on behalf of United Construction & Development Group Corp. This letter serves as an addendum to the RAWP to stipulate additional content, requirements, and procedures that will be followed during the site remediation. The contents of this list are added to the RAWP and will supersede the content in the RAWP where there is a conflict in purpose or intent. The additional requirements/procedures include the following Stipulation List below:

1. The criterion attached in **Appendix 1** will be utilized if additional petroleum containing tank or vessel is identified during the remedial action or subsequent redevelopment excavation activities. All petroleum spills will be reported to the NYSDEC hotline as required by applicable laws and regulations. This contingency plan is designed for heating oil tanks and other small or moderately sized storage vessels. If larger tanks, such as gasoline storage tanks are identified, OER will be notified before this criterion is utilized.
2. A pre-construction meeting is required prior to start of remedial excavation work at the site. A pre-construction meeting will be held at the site and will be attended by OER, the developer or developer representative, the consultant, excavation/general contractor, and if applicable, the soil broker.
3. A pre-approval letter from all disposal facilities will be provided to OER prior to any soil/fill material removal from the site. Documentation specified in the RAWP - Appendix 3 - Section 1.6 "Materials Disposal Off-Site" will be provided to OER. If a different disposal facility for the soil/fill material is selected, OER will be notified immediately.

4. Signage for the project will include a sturdy placard mounted in a publically accessible right of way to building and other permits signage will consist of the NYC VCP Information Sheet (attached **Appendix 2**) announcing the remedial action. The Information sheet will be laminated and permanently affixed to the placard.
5. In the event that hazardous waste is identified during the remedial action or subsequent redevelopment excavation activities at this NYC VCP project, and removal and transportation of hazardous waste becomes necessary, the project may be subject to the New York State Department of Environmental Conservation's Special Assessment Tax (ECL 27-0923) and Hazardous Waste Regulatory Fees (ECL 72-00402). See DEC's website for more information: <http://www.dec.ny.gov/chemical/9099.html>.
6. Collection and analysis of five end-point samples from the bottom of the excavation will be collected to evaluate the performance of the remedy, in addition to the bottom samples collected during the RI, to confirm attainment of Track 1 SCOs. A map indicating end-point sampling locations is attached in **Appendix 3**. Samples will be analyzed for the following contaminants of concern - SVOCs and Metals.
7. OER requires parties seeking City Brownfield Incentive Grants to carry insurance. For a cleanup grant, both the excavator and the trucking firm(s) that handle removal of soil must carry or be covered under a commercial general liability (CGL) policy that provides \$1 million per claim in coverage. OER recommends that excavators and truckers also carry contractors pollution liability (CPL) coverage, also providing \$1 million per claim in coverage. The CGL policy, and the CPL policy if obtained, must name the City of New York, the NYC Economic Development Corporation, and Brownfield Redevelopment Solutions as additional insured. For an investigation grant, an environmental consultant must be a qualified vendor in the BIG program and carry \$1 million of professional liability (PL) coverage. A fact sheet regarding insurance is attached as **Appendix 4**.
8. Daily reports will be provided during active excavation work. If no work is performed for extended time period, daily report frequency will be reduced to weekly basis. Daily report template is attached in **Appendix 5**.
9. An engineered composite site cover will be placed over the entire footprint of the Site. The composite cover system will be comprised of concrete foundation/slabs. Drawings of the composite site cover are provided as **Appendix 6**.
10. **Appendix 7** includes Vapor Barrier Pre-Certification letter from Vapor Barrier manufacturer stating that the proposed vapor barrier system mitigates against the contaminants of concern at the site.
11. Truck route is included in **Appendix 8**.

12. Dewatering will be performed in full compliance with applicable laws, rules and regulations. Dewatering permit will be obtained from NYCDEP prior to construction activities.

13. Development plans are attached in **Appendix 9**.

Sincerely,

A handwritten signature in black ink, appearing to read "Philip Hoffken Jr.", written in a cursive style.

Philip Hoffken Jr

Project Manager

Cc: Eric Ilijevich, Project Manager, NYCOER

**Appendix 1**  
Generic Procedures for Management of Underground Storage Tanks  
Identified under the NYC VCP

Prior to Tank removal, the following procedures should be followed:

- Remove all fluid to its lowest draw-off point.
- Drain and flush piping into the tank.
- Vacuum out the “tank bottom” consisting of water product and sludge.
- Dig down to the top of the tank and expose the upper half.
- Remove the fill tube and disconnect the fill, gauge, product, vent lines and pumps. Cap and plug open ends of lines.
- Temporarily plug all tank openings, complete the excavation, remove the tank and place it in a secure location.
- Render the tank safe and check the tank atmosphere to ensure that petroleum vapors have been satisfactorily purged from the tank.
- Clean tank or remove to storage yard for cleaning.
- If the tank is to be moved, it must be transported by licensed waste transporter. Plug and cap all holes prior to transport leaving a 1/8 inch vent hole located at the top of the tank during transport.
- After cleaning, the tank must be made acceptable for disposal at a scrap yard, cleaning the tanks interior with a high pressure rinse and cutting the tank in several pieces.

During the tank and pipe line removal, the following field observations should be made and recorded:

- A description and photographic documentation of the tank and pipe line condition (pitting, holes, staining, leak points, evidence of repairs, etc.).
- Examination of the excavation floor and sidewalls for physical evidence of contamination (odor, staining, sheen, etc.).
- Periodic field screening (through bucket return) of the floor and sidewalls of the excavation, with a calibrated photoionization detector (PID).

Impacted Soil Excavation Methods

The excavation of the impacted soil will be performed following the removal of the existing tanks. Soil excavation will be performed in accordance with the procedures described under Section 5.5 of Draft DER-10 as follows:

- A description and photographic documentation of the excavation.
- Examination of the excavation floor and sidewalls for physical evidence of contamination (odor, staining, sheen, etc.).
- Periodic field screening (through bucket return) of the floor and sidewalls of the excavation, with calibrated photoionization detector (PID).

Final excavation depth, length, and width will be determined in the field, and will depend on the horizontal and vertical extent of contaminated soils as indentified through physical examination (PID response, odor, staining, etc.). Collection of verification samples will be performed to evaluate the success of the removal action as specified in this document.

The following procedure will be used for the excavation of impacted soil (as necessary and appropriate):

- Wear appropriate health and safety equipment as outlined in the Health and Safety Plan.

- Prior to excavation, ensure that the area is clear of utility lines or other obstructions. Lay plastic sheeting on the ground next to the area to be excavated.
- Using a rubber-tired backhoe or track mounted excavator, remove overburden soils and stockpile, or dispose of, separate from the impacted soil.
- If additional UST's are discovered, the NYSDEC will be notified and the best course of action to remove the structure should be determined in the field. This may involve the continued trenching around the perimeter to minimize its disturbance.
- If physically contaminated soil is present (e.g., staining, odors, sheen, PID response, etc.) an attempt will be made to remove it, to the extent not limited by the site boundaries or the bedrock surface. If possible, physically impacted soil will be removed using the backhoe or excavator, segregated from clean soils and overburden, and staged on separated dedicated plastic sheeting or live loaded into trucks from the disposal facility. Removal of the impacted soils will continue until visibly clean material is encountered and monitoring instruments indicate that no contaminants are present.
- Excavated soils which are temporarily stockpiled on-site will be covered with tarp material while disposal options are determined. Tarp will be checked on a daily basis and replaced, repaired or adjusted as needed to provide full coverage. The sheeting will be shaped and secured in such a manner as to drain runoff and direct it toward the interior of the property.

Once the site representative and regulatory personnel are satisfied with the removal effort, verification of confirmatory samples will be collected from the excavation in accordance with DER-10.

**Appendix 2**  
NYC VCP Signage



## NYC Voluntary Cleanup Program

**140-35 Queens Boulevard**  
**Site #: 15CVCP022Q**

This property is enrolled in the New York City Voluntary Cleanup Program for environmental remediation. This is a voluntary program administered by the NYC Office of Environmental Remediation.

Or scan with smart phone:



For more information,  
log on to: [www.nyc.gov/oeer](http://www.nyc.gov/oeer)

If you have questions or would like more information,  
please contact:

Shaminder Chawla at (212) 442-3007  
or email us at [brownfields@cityhall.nyc.gov](mailto:brownfields@cityhall.nyc.gov)

**Appendix 3**  
End-Point Sampling Map



Grid 2

Grid 4

Grid 6

Grid 1

Grid 3

Grid 5

CONCRETE SIDEWALK

LEGEND

● PROPOSED ENDPOINT SAMPLE LOCATIONS

PREPARED BY:

**J.R. HOLZMACHER P.E., LLC**

*The Third Generation of Excellence  
In Water Supply, Water Resources,  
Civil and Environmental Engineering*

3555 VETERANS MEMORIAL HIGHWAY,  
SUITE A, RONKONKOMA, NY 11779

PHONE # (631) 234-2220 FAX # (631) 234-2221  
E-MAIL: info@holzmacher.com

TITLE:

### Proposed Endpoint Sample Locations

140-35 Queens Blvd.  
Jamaica, New York

DWN: KS	SCALE: 1:30	DATE: 10-8-2014	PROJECT NO.: UCDGC14-03
CHKD: PJH	APPD: PJH	REV.: -	NOTES: -

APPENDIX: 3



**Appendix 4**  
BIG Program Insurance Fact Sheet

## FACT SHEET – BIG PROGRAM INSURANCE REQUIREMENTS

**Investigation Grants** – for a developer or site owner to be eligible for a BIG investigation grant, its environmental consultant(s) must be:

- a Qualified Vendor in the BIG Program; and
- maintain Professional Liability (PL) insurance of \$1M per claim and annual aggregate.

**Cleanup Grants** – for a developer or site owner to be eligible for a BIG cleanup grant:

- Its general contractor or excavation/foundation contractor hired to perform remedial work must maintain Commercial General Liability (CGL) insurance of at least \$1M per occurrence and \$2M in the general aggregate. It is recommended that the general contractor or excavation/foundation contractor also maintain a Contractors Pollution Liability policy (CPL) of at least \$1M per occurrence.
- Its subcontractors who are hired by the general contractor etc. to perform remedial work at a site, including soil brokers and truckers, must also maintain a CGL policy in the amount and with the terms set forth above. It is recommended that subcontractors also maintain a CPL policy in the amount and with the terms set forth above.

The CGL policy, and the CPL policy if in force, must list the city, EDC and BRS as additional insureds, include completed operations coverage and be primary and non-contributory to any other insurance the additional insureds may have.

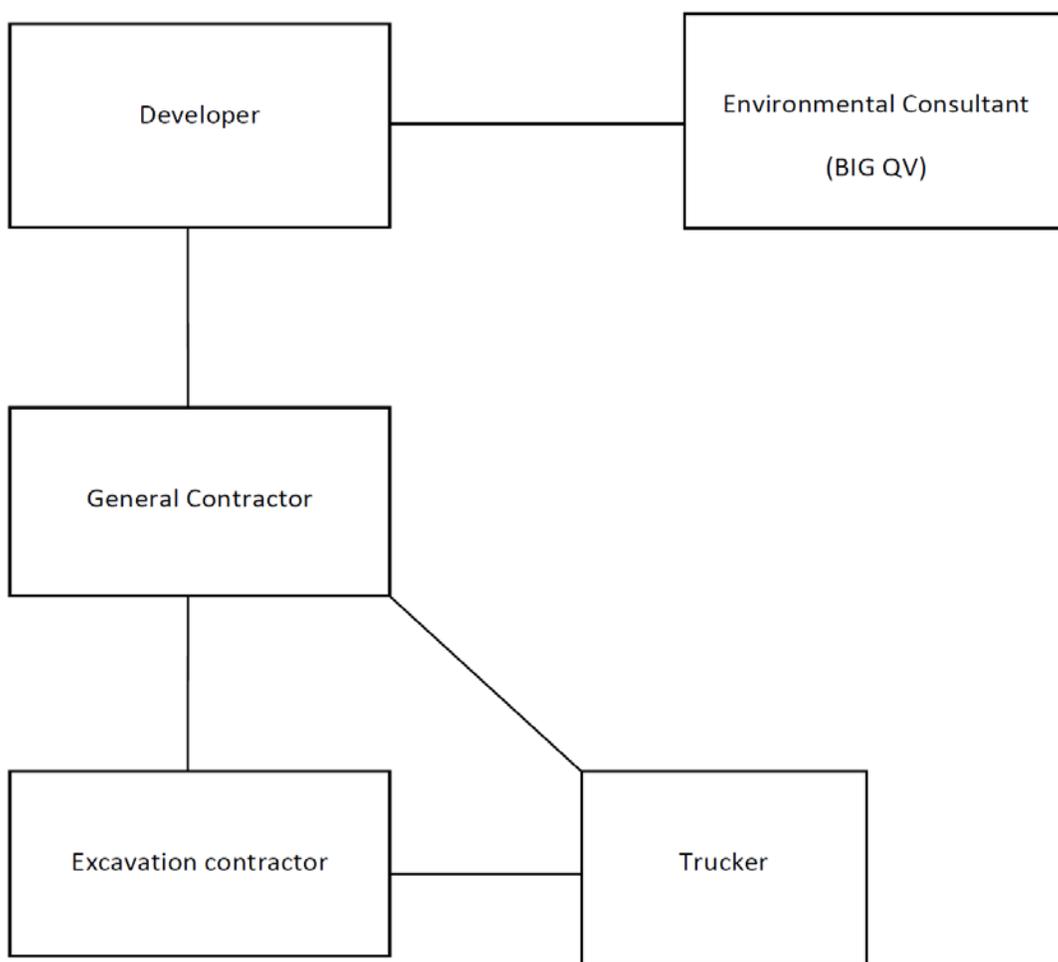
- Its environmental consultant(s) hired to oversee the cleanup must be:
  - a. a BIG Qualified Vendor; and
  - b. maintain Professional Liability (PL) insurance of \$1M per claim and annual aggregate.

If, in the alternative, the developer hires its environmental consultant to perform the cleanup, the environmental consultant must maintain CGL insurance in the amount and with the terms set forth above. It is recommended that the environmental consultant also maintain CPL coverage in the amount and with the terms set forth in the first two bulleted items listed above.

A schematic presenting the contractual relationships described above appears on page 2. Parties who must be named as Additional Insureds on Cleanup Grant insurance policies (CGL and CPL) are presented on page 3.

**Example of Contractual Relationships for Cleanup Work**

The Office of Environmental Remediation’s Voluntary Cleanup Plan program requires applicants to identify the parties who are engaged in active remediation of their sites including: the General Contractor hired to remediate and/or the excavation contractor hired to excavate soil from the site and the trucking firm(s) that remove soil from the site for disposal at approved facilit(ies).



The chart above shows contractual relationships that typically exist for projects that are enrolled in the Voluntary Cleanup Program.

**BIG Program Additional Insureds**

The full names and addresses of the additional insureds required under the Required CGL Policy and recommended CPL Policy are as follows:

“City and its officials and employees”

New York City Mayor’s Office of Environmental Remediation  
253 Broadway, 14th Floor  
New York, NY 10007

“NYC EDC and its officials and employees”

New York City Economic Development Corporation  
110 William Street  
New York, NY 10038

“BIG Grant Administrator and its officials and employees”

Brownfield Redevelopment Solutions, Inc.  
739 Stokes Road, Units A & B  
Medford, NJ 08055

**Appendix 5**  
Daily Report Template

## Generic Template for Daily Status Report

### Instructions

The Daily Status Report submitted to OER should adhere to the following conventions:

- Remove this cover sheet prior to editing.
- Remove all the **red text** and replace with site-specific information.
- Submit the final version as a Word or PDF file.

### Daily Status Reports

Daily status reports providing a general summary of activities for each day of *active remedial work* will be emailed to the OER Project Manager by the end of the following day. Those reports will include:

- Project number and statement of the activities and an update of progress made and locations of work performed;
- Quantities of material imported and exported from the Site;
- Status of on-Site soil/fill stockpiles;
- A summary of all citizen complaints, with relevant details (basis of complaint; actions taken; etc.);
- A summary of CAMP excursions, if any;
- Photograph of notable Site conditions and activities.

The frequency of the reporting period may be revised in consultation with OER project manager based on planned project tasks. Daily email reports are not intended to be the primary mode of communication for notification to OER of emergencies (accidents, spills), requests for changes to the RAWP or other sensitive or time critical information. However, such information will be included in the daily reports. Emergency conditions and changes to the RAWP will be communicated directly to the OER project manager by personal communication. Daily reports will be included as an Appendix in the Remedial Action Report.

# DAILY STATUS REPORT

Prepared By: Enter Your Name Here

WEATHER	Snow		Rain		Overcast		Partly Cloudy	X	Bright Sun	
TEMP.	< 32		32-50		50-70	X	70-85		>85	

VCP Project No.:	14CVCP000M	E-Number Project No.:	14EHAN000M	Date:	01/01/2014
Project Name:	Name or Address				

Consultant: Person(s) Name and Company Name	Safety Officer: Person(s) Name and Company Name
General Contractor: Person(s) Name and Company Name	Site Manager/ Supervisor: Person(s) Name and Company Name

Work Activities Performed (Since Last Report):  
Provide details about the work activities performed.

Working In Grid #: A1, B1, C1

Samples Collected (Since Last Report):  
No samples collected or provide details

Air Monitoring (Since Last Report):  
No air monitoring performed or provide details

Problems Encountered:  
No problems encountered or provide details

Planned Activities for the Next Day/ Week:  
Provide details about the work activities planned for the next day/ week.

									Example:	
Facility # Name/ Location Type of Waste Solid <u>Or</u> Liquid	Facility # Name Location Type of Waste Solid <u>Or</u> Liquid		##### Clean Earth Carteret, NJ petroleum soils Solid							
(Trucks, Cu.Yds. <u>Or</u> Gallons)	Trucks	Cu. Yds. <u>Or</u> Gallons	Trucks	Cu. Yds.						
Today									5	120
Total									25	600

NYC Clean Soil Bank		Receiving Facility: Name/ Address (Approved by OER)			
Tracking No.:	13CCSB000				
Today	Trucks 5	Cu. Yds. 25	Total	Trucks 120	Cu. Yds. 600

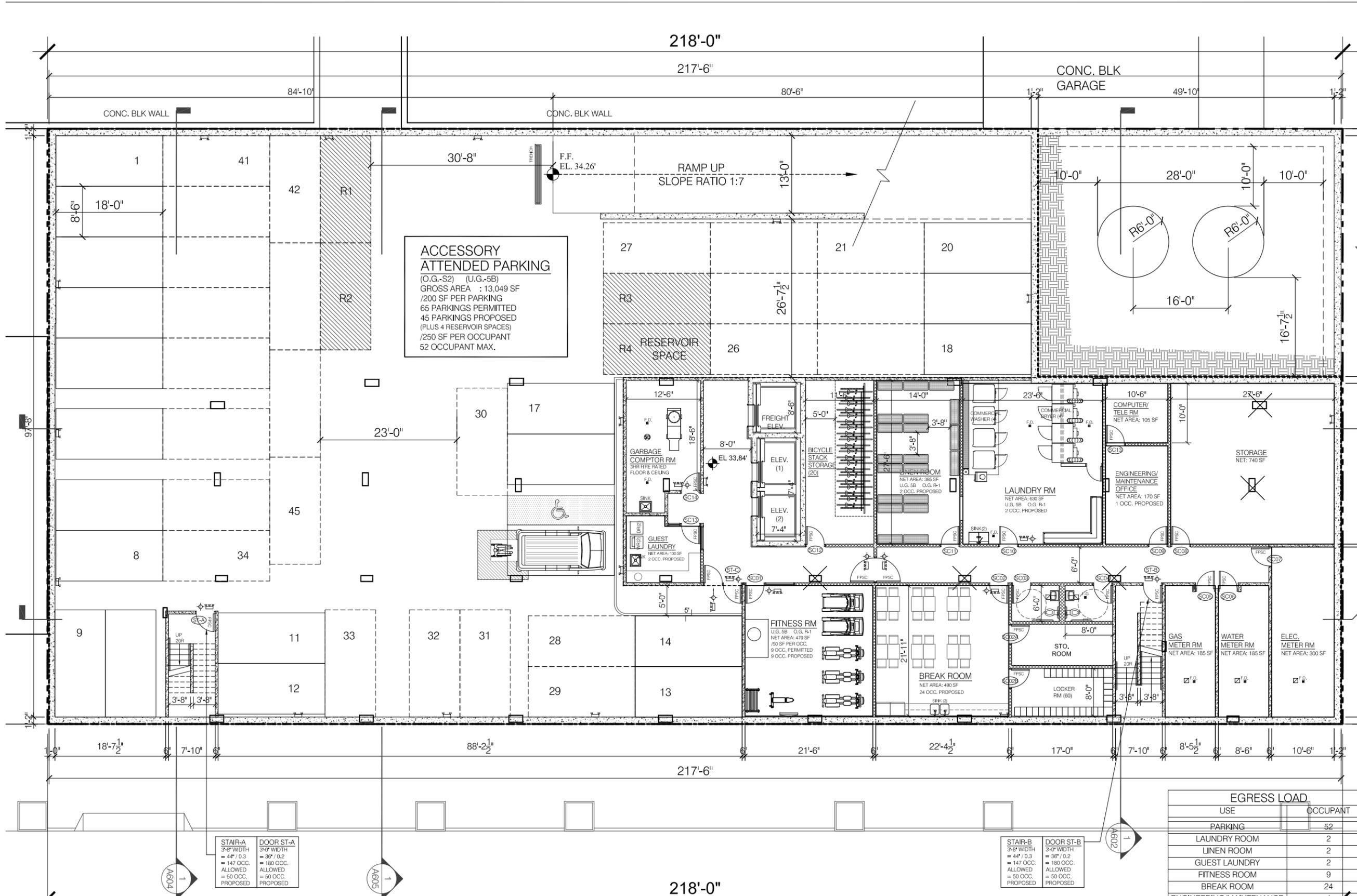
Site Grid Map  
 Insert the site grid map here

## Photo Log

Photo 1 – provide a caption	Insert Photo Here – Photo of the entire site
Photo 2 – provide a caption	Insert Photo Here – Photo of the work activities performed
Photo 3 – provide a caption	Insert Photo Here – Photo of the work activities performed

**Appendix 6**  
Drawings of The Composite Site Cover

No.	DATE	DESCRIPTION



**ACCESSORY ATTENDED PARKING**  
(O.G.-S2) (U.G.-5B)  
GROSS AREA : 13,049 SF  
/200 SF PER PARKING  
65 PARKINGS PERMITTED  
45 PARKINGS PROPOSED  
(PLUS 4 RESERVOIR SPACES)  
/250 SF PER OCCUPANT  
52 OCCUPANT MAX.

1 STORY  
CONC. BLK

CONC. BLK  
GARAGE

ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**1 SUB-CELLAR PLAN**  
SCALE: 1/8"=1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:

RAYMOND  
CHAN  
ARCHITECT  
PC

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136-40 39TH AVENUE FLUSHING, NEW YORK 11354  
Tel: (718) 445-2345 Fax: (718) 359-8809  
Email: Info@raymondchanarchitect.com  
Web: www.raymondchanarchitect.com

EGRESS LOAD	
USE	OCCUPANT
PARKING	52
LAUNDRY ROOM	2
LINEN ROOM	2
GUEST LAUNDRY	2
FITNESS ROOM	9
BREAK ROOM	24
ENGINEERING/MAINTENANCE OFFICE	1
<b>TOTAL</b>	<b>92</b>

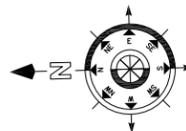
DATE: 09/23/2014 DWG. No.:  
PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS  
CADD FILE NO.: 21321-J. SPRINGHILL-JAMAICA  
N.Y.C. D.O.B. NO. :

**A101.00**

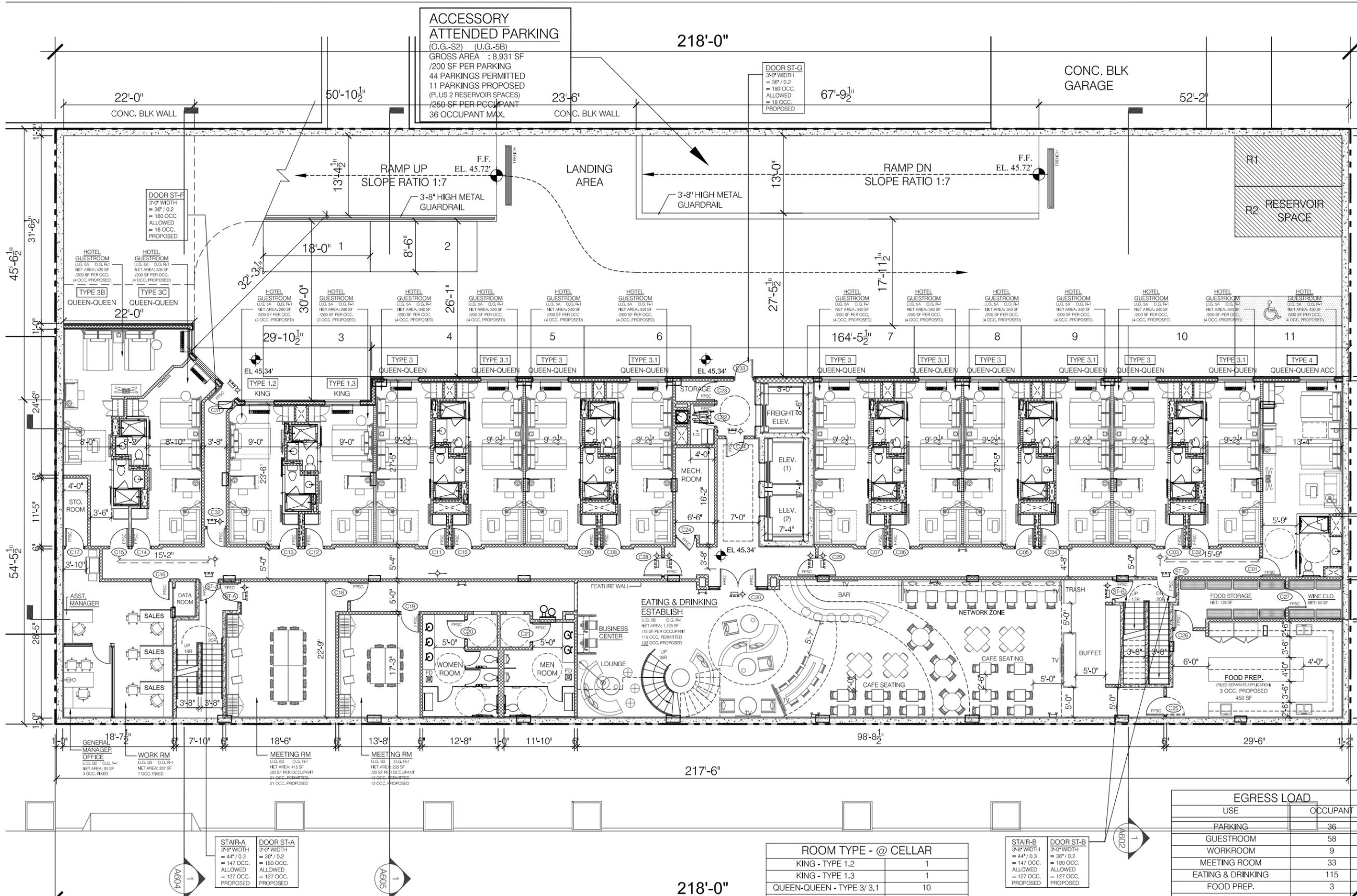
08 -OF-23

NOTE: THIS IS A SCHEMATIC DESIGN  
& SHALL SUBJECT TO REVIEW  
& INTERPRETATION BY  
NYC DEPT. OF BLDGS ON  
ZONING AND BUILDING CODES.

**QUEENS BOULEVARD (80' WIDE)**



No.	DATE	DESCRIPTION



**ACCESSORY ATTENDED PARKING**  
(O.G.-S2) (U.G.-5B)  
GROSS AREA : 8,931 SF  
/200 SF PER PARKING  
44 PARKINGS PERMITTED  
11 PARKINGS PROPOSED  
(P.LUS 2 RESERVOIR SPACES)  
/250 SF PER OCCUPANT  
36 OCCUPANT MAX.

CONC. BLK GARAGE

1 STORY CONC. BLK

R1  
R2  
RESERVOIR SPACE

ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**1 CELLAR PLAN**  
SCALE: 1/8"=1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:

**RAYMOND CHAN ARCHITECT**

ARCHITECTS • PLANNERS

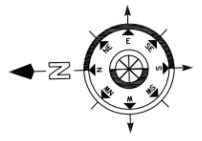
136-40 39TH AVENUE FLUSHING, NEW YORK 11354  
Tel: (718) 445-2345 Fax: (718) 359-8809  
Email: Info@raymondchanarchitect.com  
Web: www.raymondchanarchitect.com

USE	OCCUPANT
PARKING	36
GUESTROOM	58
WORKROOM	9
MEETING ROOM	33
EATING & DRINKING	115
FOOD PREP.	3
<b>TOTAL</b>	<b>254</b>

ROOM TYPE - @ CELLAR	
KING - TYPE 1.2	1
KING - TYPE 1.3	1
QUEEN-QUEEN - TYPE 3/3.1	10
QUEEN-QUEEN - TYPE 3B	1
QUEEN-QUEEN - TYPE 3C	1
ADA QUEEN-QUEEN - TYPE 4	1
<b>TOTAL GUEST ROOM</b>	<b>15</b>

**STAIR-B**  
3'-0" WIDTH  
= 37' / 0.2  
= 180 OCC. ALLOWED  
= 127 OCC. PROPOSED

**DOOR ST-A**  
3'-0" WIDTH  
= 36' / 0.2  
= 180 OCC. ALLOWED  
= 127 OCC. PROPOSED



**QUEENS BOULEVARD (80' WIDE)**



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

DATE: 09/23/2014 DWG. No.:  
PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS  
CADD FILE NO.: 21321-J\_SPRINGHILL-JAMAICA  
N.Y.C. D.O.B. NO. :

**A102.00**  
09 -OF-23

**Appendix 7**  
Vapor Barrier Certification Letter

# GRACE

## Construction Products

**Mark A. Franciosi**  
Technical Service Manager – North America

T 617-498-4303

mark.a.franciosi@grace.com

**W. R. Grace & Co.-Conn.**  
62 Whittemore Avenue  
Cambridge, MA 02140

September 19<sup>th</sup>, 2014

Jess Sea  
Project Designer  
RAYMOND CHAN ARCHITECT, P.C.  
136-40 39th Ave 3/FL  
Flushing NY 11354  
718.445.2345

Project: 140-35 Queens Boulevard Jamaica, NY

Dear Jess,

I have reviewed the following documents for the above referenced project:

- Sample Analysis prepared by American Analytical Laboratories, dated July 7<sup>th</sup>, 2014 (Pages 1-138)
- Sample Analysis prepared by American Analytical Laboratories, dated July 11<sup>th</sup>, 2014 (Pages 1-107)
- Geotechnical Investigation Report, prepared by Geo Tech Consultants, LLC, dated August 4<sup>th</sup>, 201, (Pages 1-9)

The identified contaminants at the levels reported will not have an adverse effect on the waterproofing or vapor barrier properties of the Preprufe<sup>®</sup> 300R and Bituthene<sup>®</sup> 3000/4000 systems, along with all system accessories, provided standard design and application procedures are followed.

Standard installation instructions and details can be found on our website at [www.graceconstruction.com](http://www.graceconstruction.com). If you have any questions, please feel free to call me at the number above.

Sincerely,



Mark Franciosi

Technical Service Manager

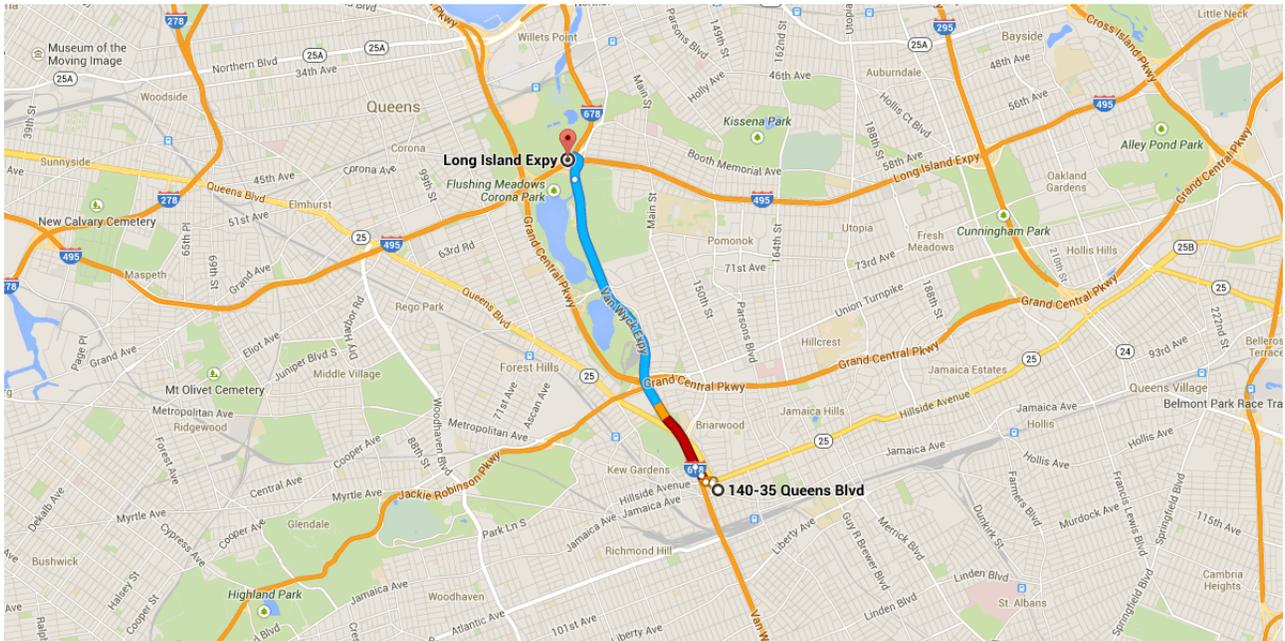
cc: J. Ridgeway

**Appendix 8**  
Truck Route



Drive 3.3 miles, 6 min

Directions from 140-35 Queens Blvd to Long Island Expy



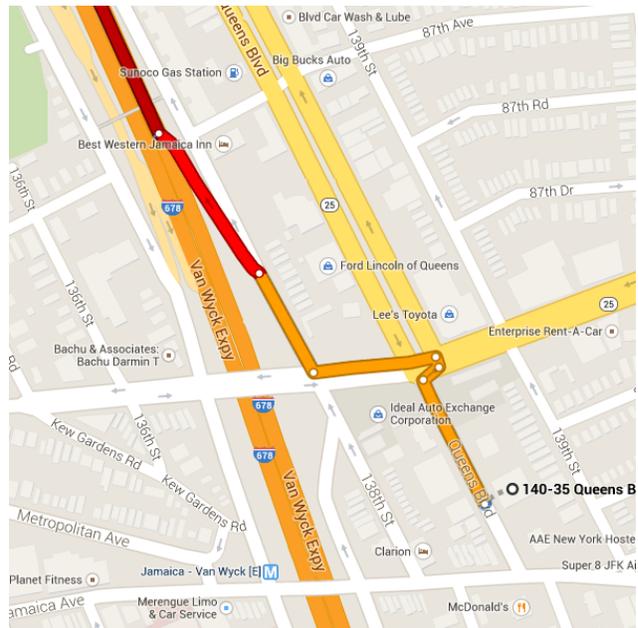
○ 140-35 Queens Blvd

Jamaica, NY 11435

Get on I-678 N from Queens Blvd, Hillside Avenue and Van Wyck Expressway State Rd E

0.3 mi / 1 min

- ↑ 1. Head northwest on Queens Blvd  
394 ft
- ↗ 2. Take the 1st right to stay on Queens Blvd  
59 ft
- ↖ 3. Turn left to stay on Queens Blvd  
30 ft
- ↖ 4. Turn left onto Hillside Avenue  
351 ft
- ↗ 5. Take the 1st right onto Van Wyck Expressway State Rd E  
322 ft
- ↑ 6. Take the Interstate 678 N/Van Wyck Expwy N ramp on the left to Whitestone Br N/Bronx N  
492 ft



Follow I-678 N to Exit 12B

3.0 mi / 4 min



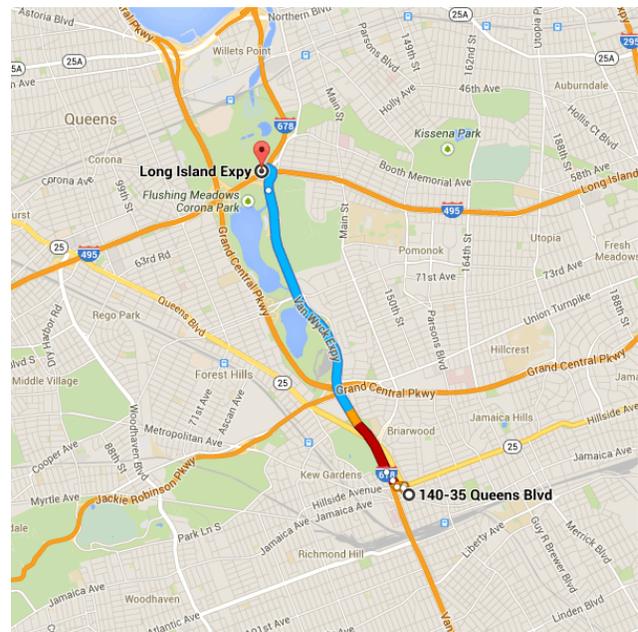
7. Merge onto I-678 N

2.7 mi



8. Take exit 12B for Interstate 495 W/Long Is Expwy toward Midtown Tun

0.3 mi



## 📍 Long Island Expy

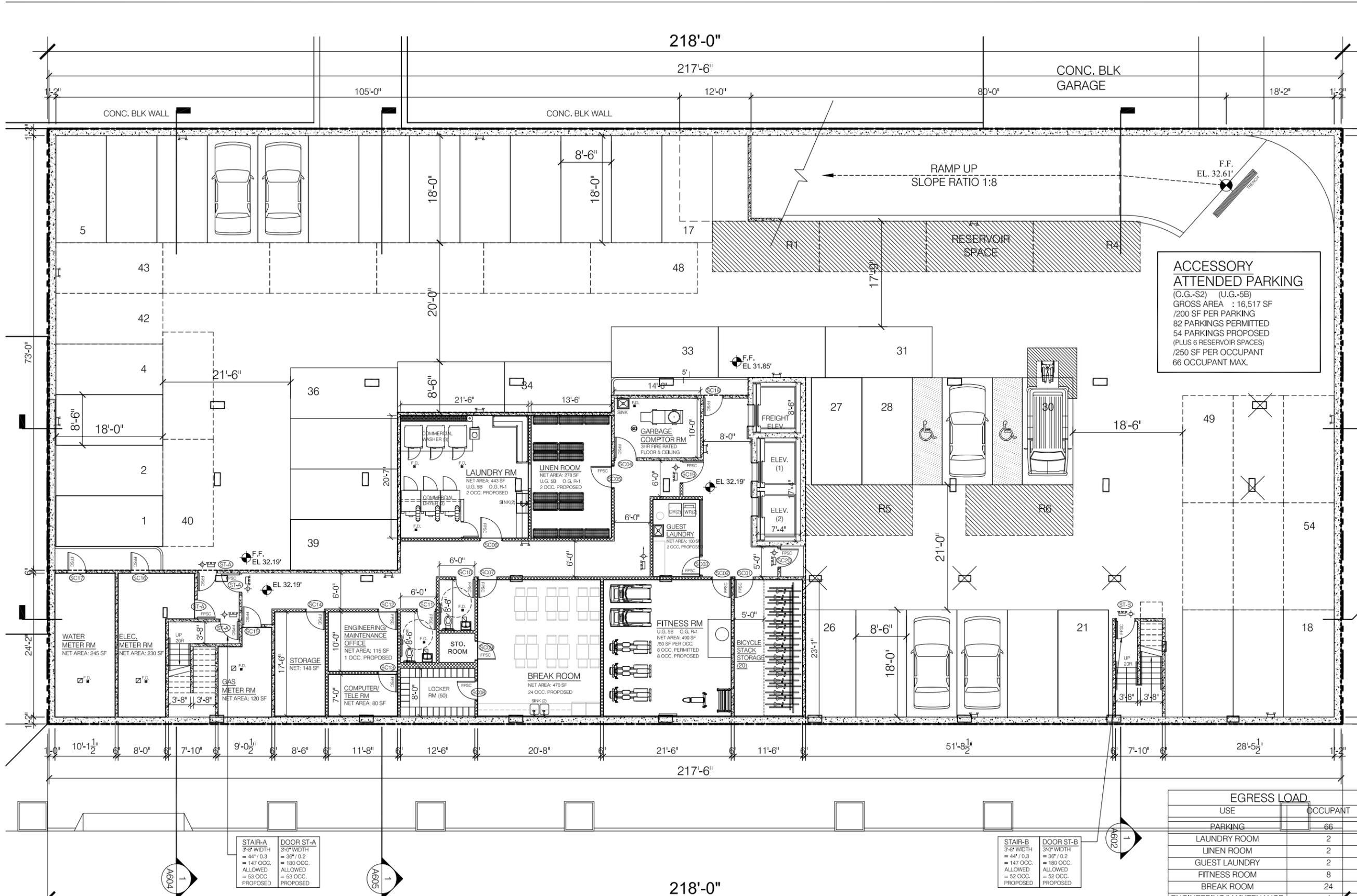
Flushing, NY 11355

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.

Map data ©2014 Google

**Appendix 9**  
Development Plans

No.	DATE	DESCRIPTION



**ACCESSORY ATTENDED PARKING**  
(O.G.-S2) (U.G.-5B)  
GROSS AREA : 16,517 SF  
/200 SF PER PARKING  
82 PARKINGS PERMITTED  
54 PARKINGS PROPOSED  
(P.LUS 6 RESERVOIR SPACES)  
/250 SF PER OCCUPANT  
66 OCCUPANT MAX.

1 STORY  
CONC. BLK

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**1 SUB-CELLAR PLAN**  
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Email: Info@raymondchanarchitect.com  
Web: www.raymondchanarchitect.com

EGRESS LOAD	
USE	OCCUPANT
PARKING	66
LAUNDRY ROOM	2
LINEN ROOM	2
GUEST LAUNDRY	2
FITNESS ROOM	8
BREAK ROOM	24
ENGINEERING/MAINTENANCE OFFICE	1
<b>TOTAL</b>	<b>105</b>

DATE: 01/06/2014 DWG. No.:  
PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JS  
CADD FILE NO.: 21321-J. SPRINGHILL-JAMAICA  
N.Y.C. D.O.B. NO. :

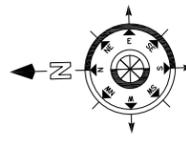
**A101.00**

08 -OF-23

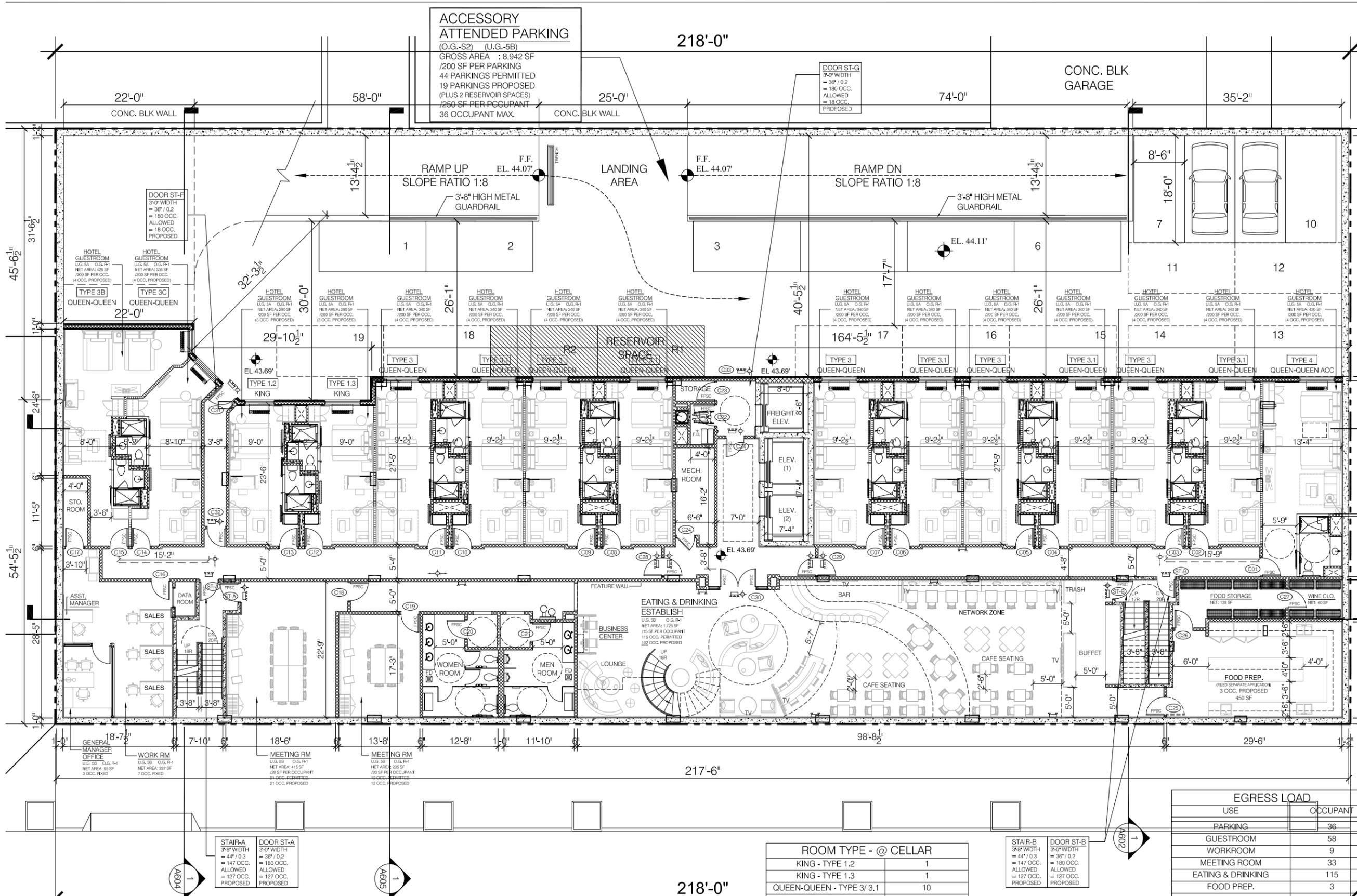
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**FIGURE 3-1**

**QUEENS BOULEVARD (80' WIDE)**



No.	DATE	DESCRIPTION



**ACCESSORY ATTENDED PARKING**  
(O.G.-S2) (U.G.-5B)  
GROSS AREA : 8,942 SF  
/200 SF PER PARKING  
44 PARKINGS PERMITTED  
19 PARKINGS PROPOSED  
(PLUS 2 RESERVOIR SPACES)  
/260 SF PER OCCUPANT  
36 OCCUPANT MAX.

**DOOR ST-G**  
3'-0" WIDTH  
= 36' / 0.2  
= 180 OCC.  
ALLOWED  
= 18 OCC.  
PROPOSED

**DOOR ST-F**  
3'-0" WIDTH  
= 36' / 0.2  
= 180 OCC.  
ALLOWED  
= 18 OCC.  
PROPOSED

**STAIR-A**  
3'-0" WIDTH  
= 44' / 0.3  
= 147 OCC.  
ALLOWED  
= 127 OCC.  
PROPOSED

**DOOR ST-A**  
3'-0" WIDTH  
= 36' / 0.2  
= 180 OCC.  
ALLOWED  
= 127 OCC.  
PROPOSED

**STAIR-B**  
3'-0" WIDTH  
= 44' / 0.3  
= 147 OCC.  
ALLOWED  
= 127 OCC.  
PROPOSED

**DOOR ST-B**  
3'-0" WIDTH  
= 36' / 0.2  
= 180 OCC.  
ALLOWED  
= 127 OCC.  
PROPOSED

**ROOM TYPE - @ CELLAR**

KING - TYPE 1.2	1
KING - TYPE 1.3	1
QUEEN-QUEEN - TYPE 3/ 3.1	10
QUEEN-QUEEN - TYPE 3B	1
QUEEN-QUEEN - TYPE 3C	1
ADA QUEEN-QUEEN - TYPE 4	1
TOTAL GUEST ROOM	15

**EGRESS LOAD**

USE	OCCUPANT
PARKING	36
GUESTROOM	58
WORKROOM	9
MEETING ROOM	33
EATING & DRINKING	115
FOOD PREP.	3
<b>TOTAL</b>	<b>254</b>

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**1 CELLAR PLAN**  
SCALE: 1/8"=1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:  
**RAYMOND CHAN ARCHITECT**  
ARCHITECTS + PLANNERS

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Tel: (718) 445-2345 Fax: (718) 359-8809  
Email: Info@raymondchanarchitect.com  
Web: www.raymondchanarchitect.com

DATE: 01/06/2014 DWG. No.:  
PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS  
CADD FILE NO.: 21321-J\_SPRINGHILL-JAMAICA  
N.Y.C. D.O.B. NO. :

**A102.00**

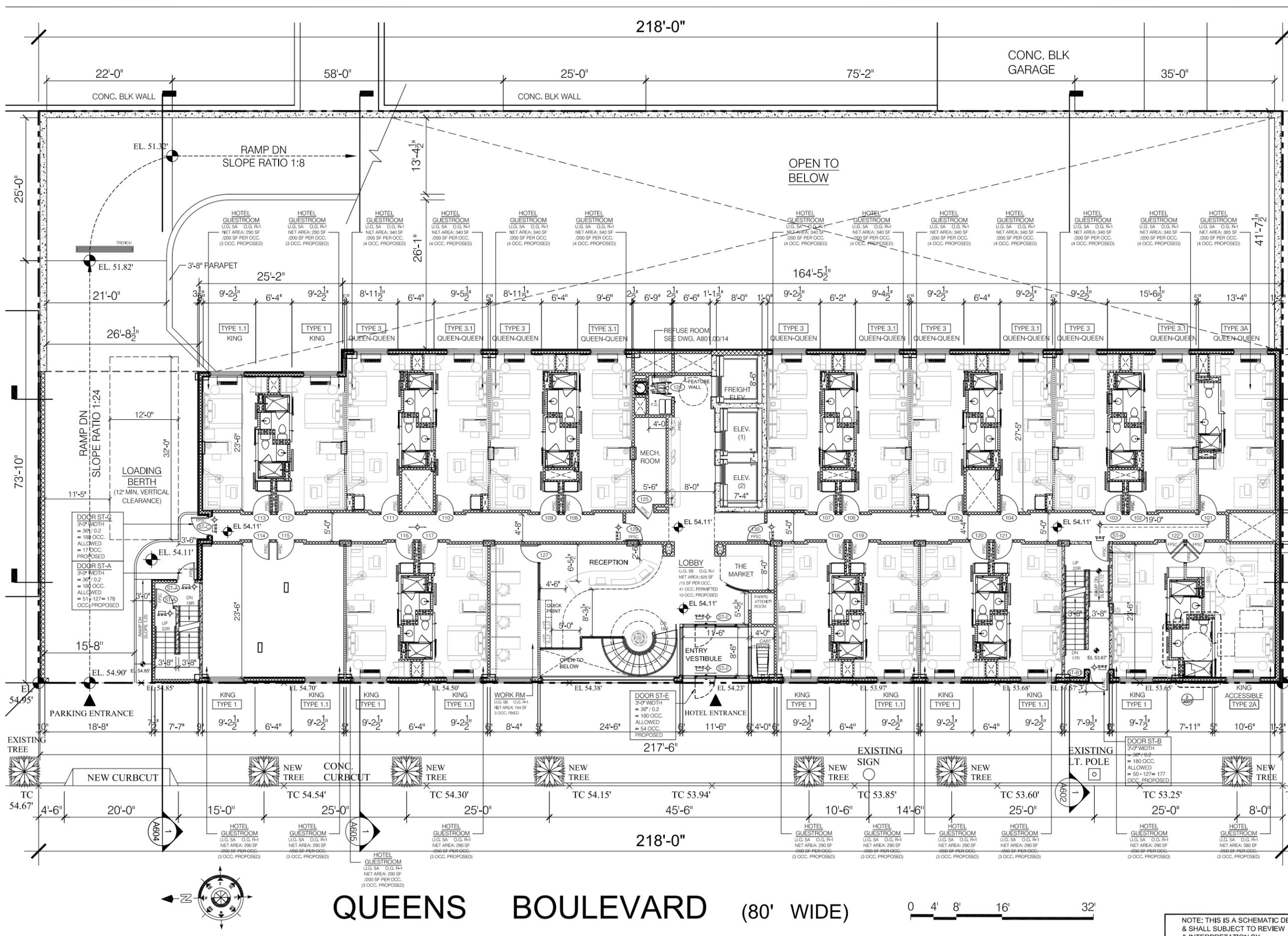
09 -OF-23

**QUEENS BOULEVARD (80' WIDE)**



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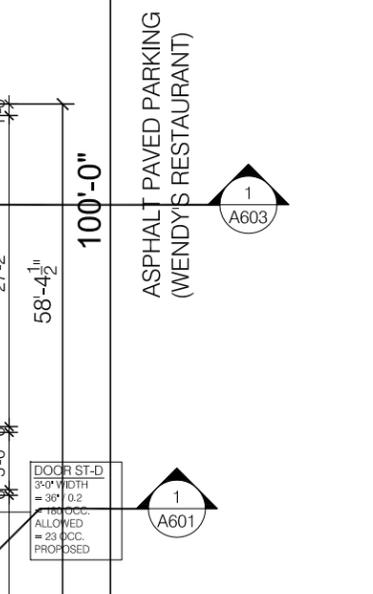
**FIGURE 3-2**



No.	DATE	DESCRIPTION
1		STORY CONC. BLK

EGRESS LOAD	
USE	OCCUPANT
GUESTROOMS	80
LOBBY	10
OFFICE	4
<b>TOTAL</b>	<b>94</b>

ROOM TYPE - @ 1ST FLOOR	
KING - TYPE 1/1.1	11
ADA KING - TYPE 2A	1
QUEEN-QUEEN - TYPE 3/3.1	10
QUEEN-QUEEN - TYPE 3A	1
<b>TOTAL GUEST ROOM</b>	<b>23</b>



PROJECT:  
**SPRINGHILL SUITE**  
 140-35 QUEENS BLVD.  
 JAMAICA, NY 11435

DRAWING TITLE:  
**1 1ST FLOOR PLAN**  
 SCALE: 1/8"=1'-0"

M.E.P. ENGINEER:  
 STRUCTURAL ENGINEER:

SEAL & SIGNATURE:

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 Web: www.raymondchanarchitect.com

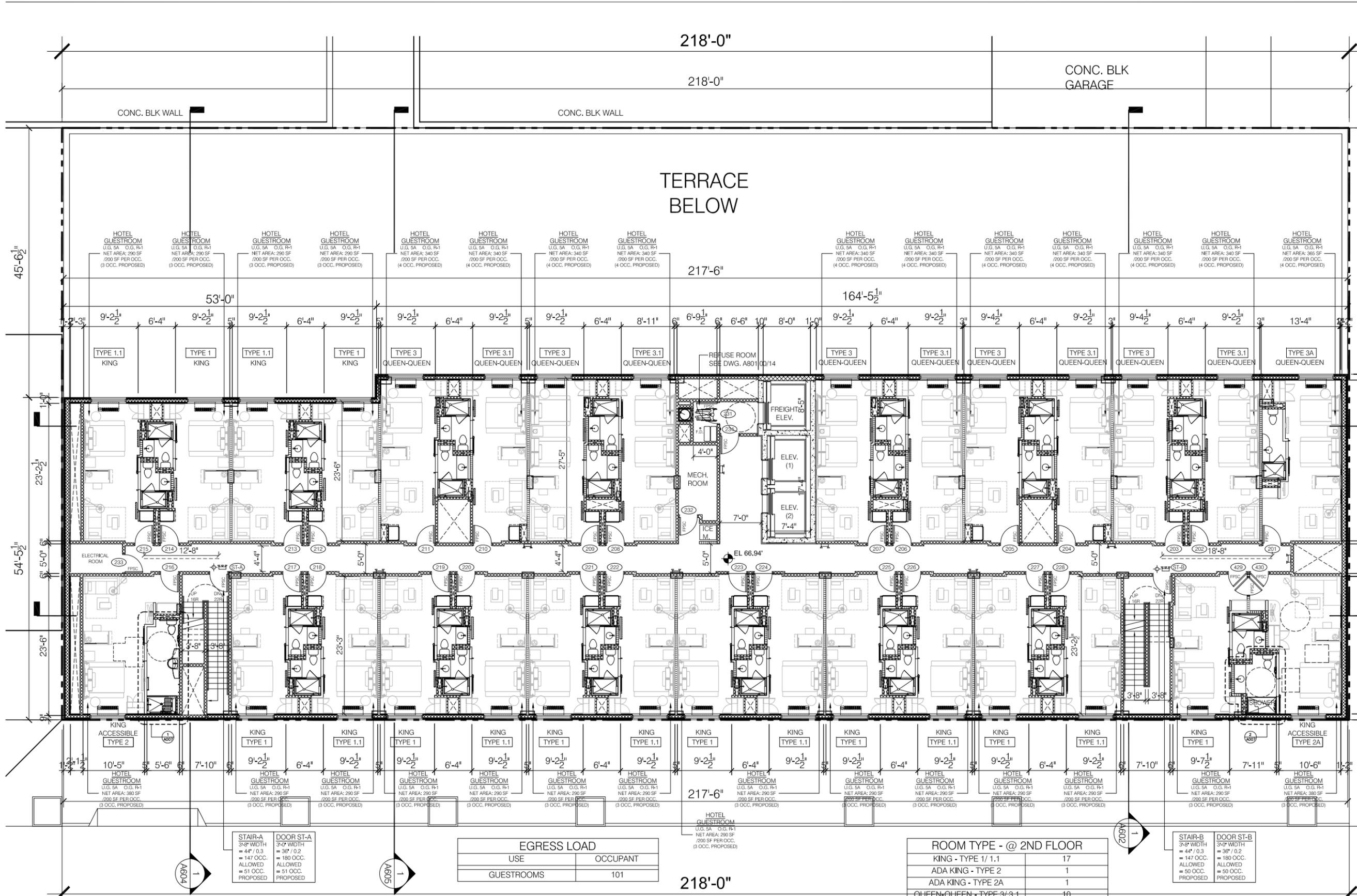
DATE: 01/06/2014 DWG. No.:  
 PROJECT No.: 21321  
 PROJECT MANAGER: RCA **A103.00**  
 DRAWN BY: EL/JJS  
 CADD FILE NO.: 21321-J\_SPRINGHILL-JAMAICA 10 -OF-23  
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N.Y.C. D.O.B. NO. :  
**FIGURE 3-3**

**QUEENS BOULEVARD (80' WIDE)**

No.	DATE	DESCRIPTION



1 STORY  
CONC. BLK

CONC. BLK  
GARAGE

TERRACE  
BELOW

ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**1 2ND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:

**RAYMOND  
CHAN  
ARCHITECT**

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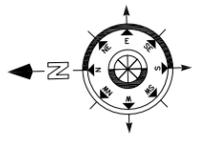
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Web: www.raymondchanarchitect.com

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PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS  
CADD FILE NO.: 21321-J\_SPRINGHILL-JAMAICA  
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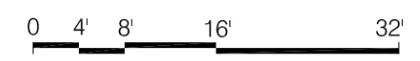
EGRESS LOAD	
USE	OCCUPANT
GUESTROOMS	101

ROOM TYPE - @ 2ND FLOOR	
KING - TYPE 1/1.1	17
ADA KING - TYPE 2	1
ADA KING - TYPE 2A	1
QUEEN-QUEEN - TYPE 3/3.1	10
QUEEN-QUEEN - TYPE 3A	1
<b>TOTAL GUEST ROOM</b>	<b>30</b>

STAIR-A	DOOR ST-A
3'-6" WIDTH = 47 / 0.3 = 147 OCC. ALLOWED = 51 OCC. PROPOSED	3'-0" WIDTH = 39 / 0.2 = 180 OCC. ALLOWED = 51 OCC. PROPOSED



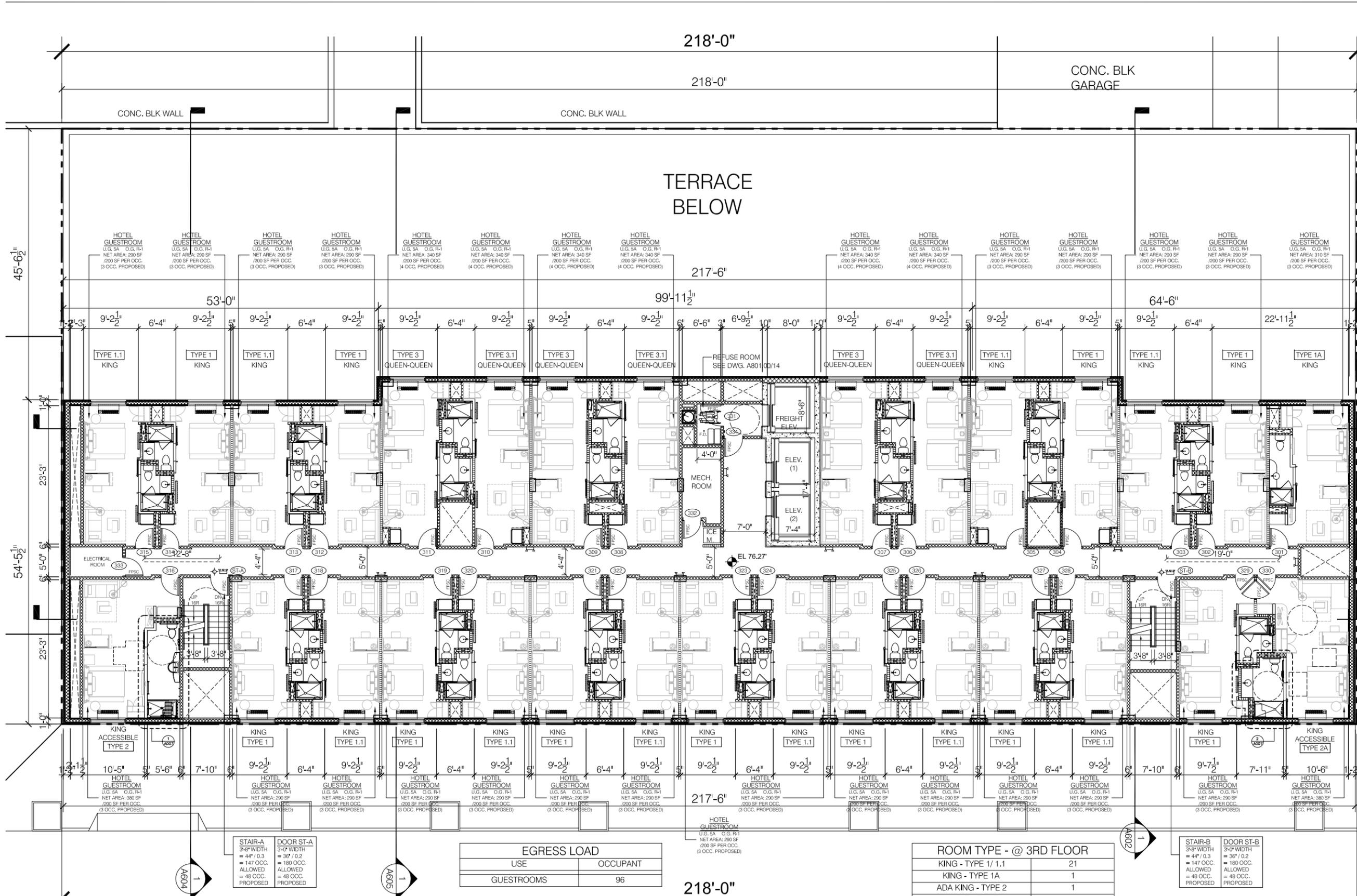
**QUEENS BOULEVARD (80' WIDE)**



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

**FIGURE 3-4**

No.	DATE	DESCRIPTION



1 STORY  
CONC. BLK

CONC. BLK  
GARAGE

TERRACE  
BELOW

41'-7 1/2"

45'-6 1/2"

ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

100'-0"

54'-5 1/2"

1  
A601

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**1 3RD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:

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PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS  
CADD FILE NO.: 21321-J. SPRINGHILL-JAMAICA  
12 -OF-23  
DOB USE ONLY

N.Y.C. D.O.B. NO. :

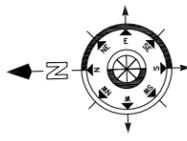
**FIGURE 3-5**

STAIR-A	DOOR ST-A
3'-8" WIDTH	3'-0" WIDTH
= 44' / 0.3	= 37' / 0.2
= 147 OCC. ALLOWED	= 180 OCC. ALLOWED
= 48 OCC. PROPOSED	= 48 OCC. PROPOSED

EGRESS LOAD	
USE	OCCUPANT
GUESTROOMS	96

ROOM TYPE - @ 3RD FLOOR	
KING - TYPE 1/1.1	21
KING - TYPE 1A	1
ADA KING - TYPE 2	1
ADA KING - TYPE 2A	1
QUEEN-QUEEN - TYPE 3/3.1	6
<b>TOTAL GUEST ROOM</b>	<b>30</b>

STAIR-B	DOOR ST-B
3'-8" WIDTH	3'-0" WIDTH
= 44' / 0.3	= 37' / 0.2
= 147 OCC. ALLOWED	= 180 OCC. ALLOWED
= 48 OCC. PROPOSED	= 48 OCC. PROPOSED

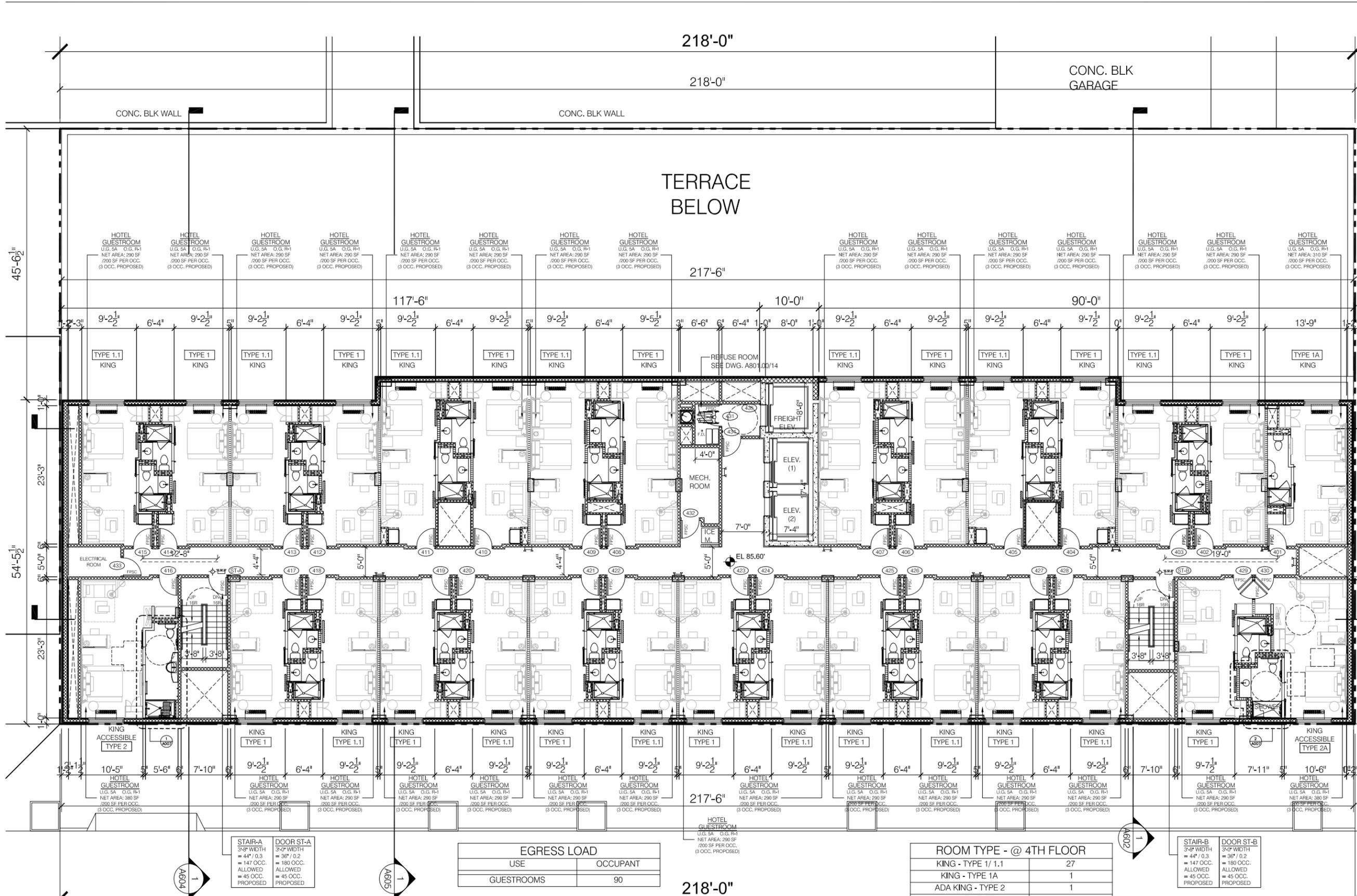


**QUEENS BOULEVARD (80' WIDE)**



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

No.	DATE	DESCRIPTION



1 STORY  
CONC. BLK

CONC. BLK  
GARAGE

TERRACE  
BELOW

ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**4TH FLOOR PLAN**  
SCALE: 1/8"=1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:

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PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS  
CADD FILE NO.: 21321-J. SPRINGHILL-JAMAICA  
N.Y.C. D.O.B. NO. :

**A106.00**

13 -OF-23

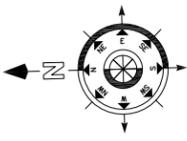
**FIGURE3-6**

STAIR-A	DOOR ST-A
3'-8" WIDTH	3'-0" WIDTH
= 44' / 0.3	= 35' / 0.2
= 147 OCC.	= 180 OCC.
ALLOWED	ALLOWED
= 45 OCC.	= 45 OCC.
PROPOSED	PROPOSED

EGRESS LOAD	
USE	OCCUPANT
GUESTROOMS	90

ROOM TYPE - @ 4TH FLOOR	
KING - TYPE 1/1.1	27
KING - TYPE 1A	1
ADA KING - TYPE 2	1
ADA KING - TYPE 2A	1
<b>TOTAL GUEST ROOM</b>	<b>30</b>

STAIR-B	DOOR ST-B
3'-8" WIDTH	3'-0" WIDTH
= 44' / 0.3	= 35' / 0.2
= 147 OCC.	= 180 OCC.
ALLOWED	ALLOWED
= 45 OCC.	= 45 OCC.
PROPOSED	PROPOSED

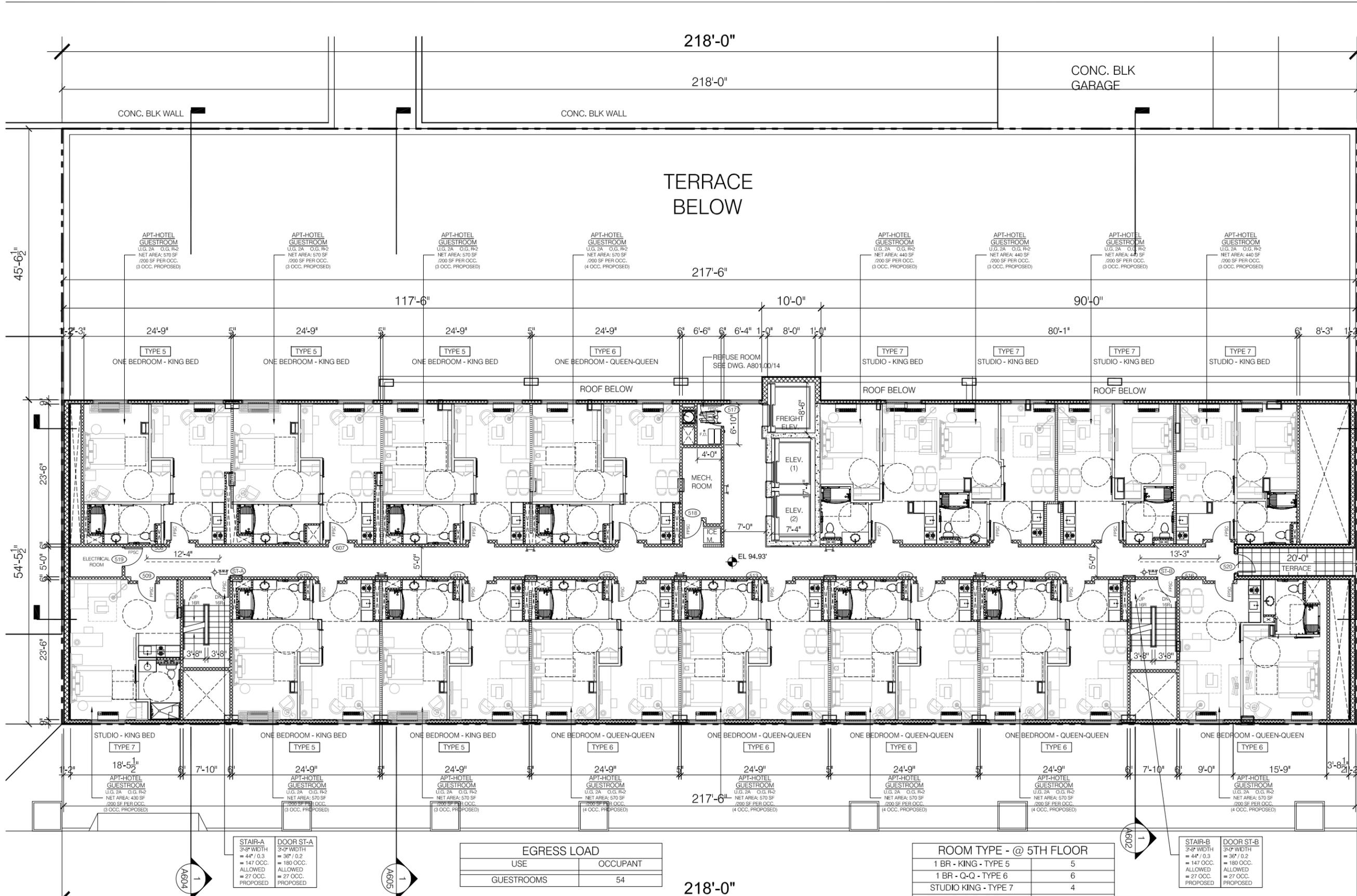


**QUEENS BOULEVARD (80' WIDE)**



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No.	DATE	DESCRIPTION



1 STORY  
CONC. BLK

CONC. BLK  
GARAGE

TERRACE  
BELOW

ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**5TH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:

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PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS  
CADD FILE NO.: 21321-J. SPRINGHILL-JAMAICA  
14 -OF-23

**A107.00**

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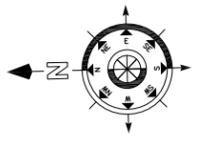
**FIGURE 3-7**

STAIR-A	DOOR ST-A
3'-8" WIDTH	3'-0" WIDTH
= 44' / 0.3	= 30' / 0.2
= 147 OCC. ALLOWED	= 180 OCC. ALLOWED
= 27 OCC. PROPOSED	= 27 OCC. PROPOSED

EGRESS LOAD	
USE	OCCUPANT
GUESTROOMS	54

ROOM TYPE - @ 5TH FLOOR	
1 BR - KING - TYPE 5	5
1 BR - Q-Q - TYPE 6	6
STUDIO KING - TYPE 7	4
STUDIO KING - TYPE 7.1	1
<b>TOTAL GUEST ROOM</b>	<b>16</b>

STAIR-B	DOOR ST-B
3'-8" WIDTH	3'-0" WIDTH
= 37' / 0.2	= 30' / 0.2
= 147 OCC. ALLOWED	= 180 OCC. ALLOWED
= 27 OCC. PROPOSED	= 27 OCC. PROPOSED

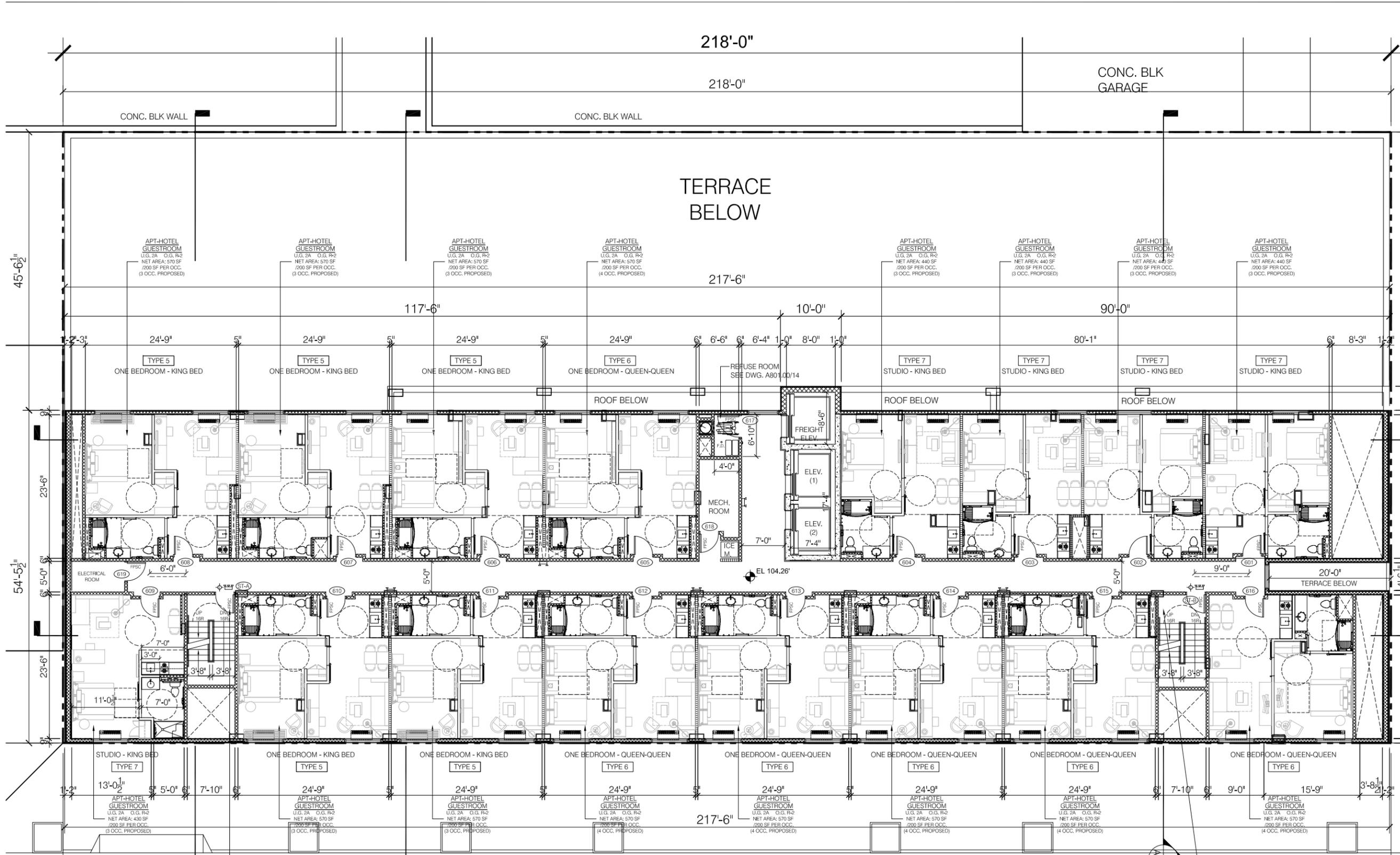


**QUEENS BOULEVARD (80' WIDE)**



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

No.	DATE	DESCRIPTION



1 STORY  
CONC. BLK

CONC. BLK WALL

CONC. BLK GARAGE

TERRACE  
BELOW

41'-7 1/2"

90'-0"

8'-3"

3'-11"

23'-6"

24'-11 1/2"

4'-6 1/2"

20'-0"

4'-6 1/2"

23'-6"

100'-0"

ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**6TH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:  
SEAL & SIGNATURE:



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DATE: 01/06/2014 DWG. No.:  
PROJECT No.: 21321  
PROJECT MANAGER: RCA  
DRAWN BY: EL/JJS

CADD FILE NO.: 21321-J. SPRINGHILL-JAMAICA  
15 -OF-23  
N.Y.C. D.O.B. NO. :

**A108.00**

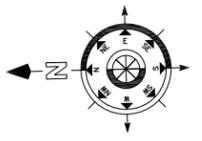
**FIGURE 3-8**

STAIR-A	DOOR ST-A
3'-8" WIDTH	3'-0" WIDTH
= 44' / 0.3	= 38' / 0.2
= 147 OCC. ALLOWED	= 180 OCC. ALLOWED
= 27 OCC. PROPOSED	= 27 OCC. PROPOSED

EGRESS LOAD	
USE	OCCUPANT
GUESTROOMS	54

ROOM TYPE - @ 6TH FLOOR	
1 BR - KING - TYPE 5	5
1 BR - Q-Q - TYPE 6	6
STUDIO KING - TYPE 7	4
STUDIO KING - TYPE 7.1	1
<b>TOTAL GUEST ROOM</b>	<b>16</b>

STAIR-B	DOOR ST-B
3'-8" WIDTH	3'-0" WIDTH
= 44' / 0.3	= 38' / 0.2
= 147 OCC. ALLOWED	= 180 OCC. ALLOWED
= 27 OCC. PROPOSED	= 27 OCC. PROPOSED

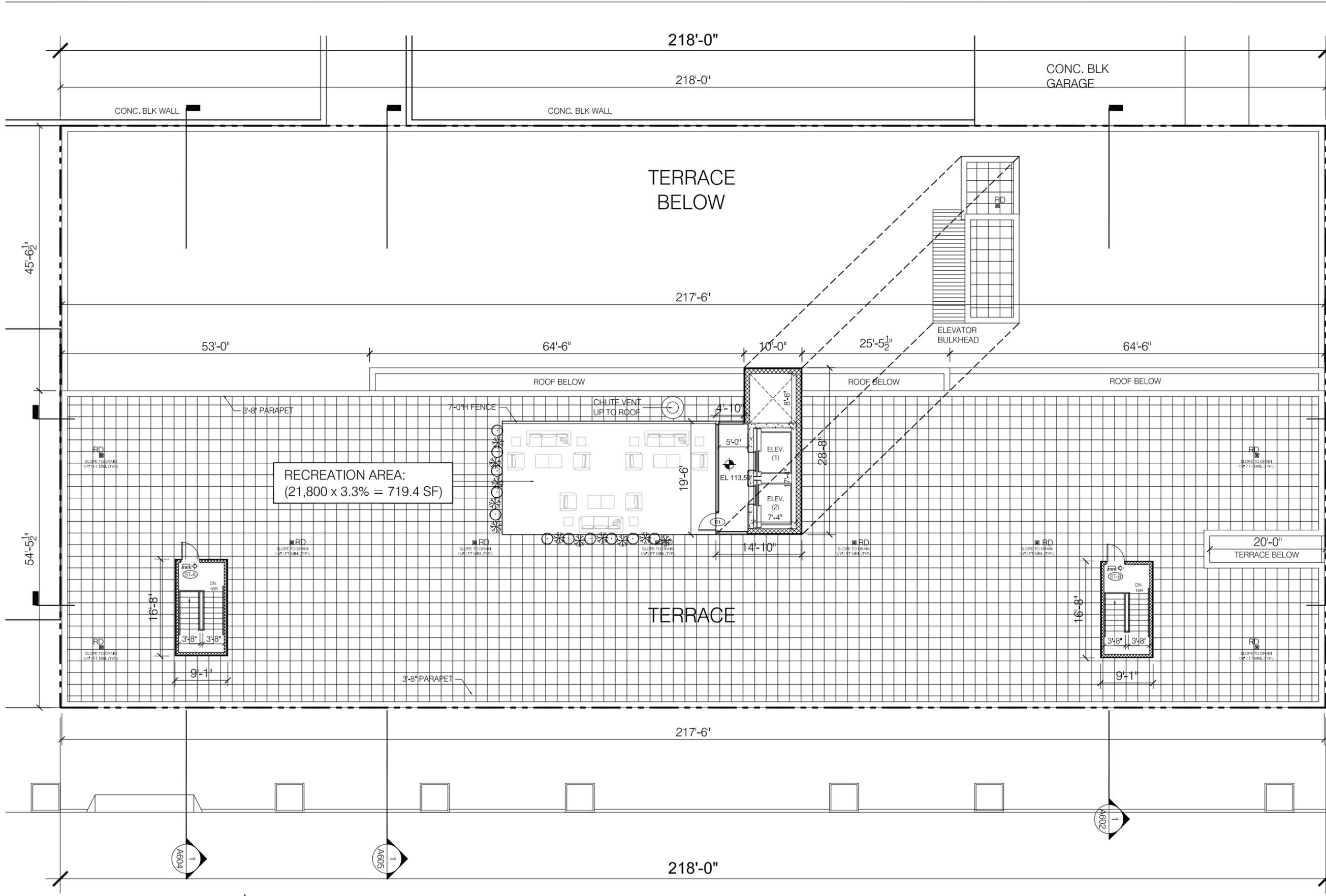


**QUEENS BOULEVARD (80' WIDE)**



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No.	DATE	DESCRIPTION



1 STORY  
CONC. BLK

41'-7 1/2"  
3'-11"  
24'-11 1/2"  
4'-6 1/2"  
100'-0"  
ASPHALT PAVED PARKING  
(WENDY'S RESTAURANT)

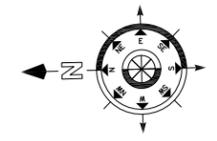
PROJECT:  
**SPRINGHILL SUITE**  
140-35 QUEENS BLVD.  
JAMAICA, NY 11435

DRAWING TITLE:  
**1 ROOF PLAN**  
SCALE: 1/8"=1'-0"

M.E.P. ENGINEER:  
STRUCTURAL ENGINEER:

SEAL & SIGNATURE:  
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DRAWN BY: EL/JS  
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21321-J. SPRINGHILL-JAMAICA DOB USE ONLY



**QUEENS BOULEVARD (80' WIDE)**



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N.Y.C. D.O.B. NO. :  
**FIGURE 3-9**